

BGZDY

DEPARTMENT OF PLANNING & ENVIRONMENT

NSW LAND & HOUSING CORPORATION

AT: 64-70 STAPLETON AVENUE, CASINO NSW LOTS, 8, 9, 10, 11 IN DP 3185

LOCATION PLAN



STAPLETON AVENUE PHOTOMONTAGE



SK SHEET LIST

DA00	COVER SHEET	F
DA01	BLOCK ANALYSIS	C
DA02	SITE ANALYSIS	C
DA03	DEMOLITION PLAN	E
DA04	SITE PLAN	F
DA05	GROUND FLOOR PLAN	F
DA06	FIRST FLOOR PLAN	E
DA07	ROOF PLAN	E
DA08	ELEVATIONS 1	F
DA09	ELEVATIONS 2 + MATERIAL LIST	E
DA10	SECTIONS	D
DA11	CUT & FILL & RETAINING WALLS	D
DA12	SHADOW DIAGRAMS	D
DA13	VIEW FROM SUN	D
DA14	MATERIALS & FINISHES	C

DEVELOPMENT DATA TABLE

JOB REFERENCE	BGZDY		
LOCALITY / SUBURB	CASINO		
STREET ADDRESS	64-70 STAPLETON AVENUE		
LOTS	LOTS 8, 9, 10, 11 DP 31850		
SITE AREA	3558m ²		
NO. EXISTING LOTS	4		
PROPOSED GFA*	GROUND	1102m ²	
	FIRST	561m ²	
	TOTAL	1663m ²	
TOTAL DWELLINGS	18 (9 x 2 BED + 9 x 3 BED)		
	UNIT NO.	TYPE	P.O.S. (m ²)
	01	GROUND	96
	02	GROUND	78
	03	GROUND	97
	04	GROUND	97
	05	GROUND	71
	06	GROUND	77
	07	GROUND	93
	08	GROUND	70
	09	GROUND	70
	10	GROUND	70
	11	GROUND	97
	12	GROUND	97
	13	FIRST	78
	14	FIRST	97
	15	FIRST	97
	16	FIRST	71
	17	FIRST	77
	18	FIRST	93

RESIDENTIAL FLAT BUILDING

	CONTROL	REQUIREMENT	PROPOSED
BUILDING HEIGHT	LRHDG	5.4m - REAR 40% OF SITE	FRONT BUILDINGS (RFB) = 7.7m
	RV-LEP	8.5m	REAR BUILDINGS = 3.5m
CAR PARKING	RV-DCP	1 SPACE PER DWELLING < 150m ² , 1.5 SPACES PER DWELLING > 150m ² , 1 VISITOR SPACE PER 4 DWELLINGS	1.0 x 9 + 1.5 x 9 = 22.5 SPACE (INCL 2 ACCESSIBLE)
	H-SEPP	2 BEDROOM UNITS - 1.0 SPACES 3 BEDROOM UNITS - 1.5 SPACE 1 ACCESSIBLE SPACE PER ADAPTABLE UNIT	
BICYCLE PARKING	LRHDG	1 BICYCLE SPACE PER DWELLING	WITHIN UNITS / POS
FSR	H-SEPP	*0.5:1	*0.47:1
	RV-DCP	NOT APPLICABLE TO RFB IN M1 ZONED AREA	
SETBACKS	RV-DCP	FRONT = 6.0m (GARAGE/CARPORT 1m BEHIND BUILDING LINE)	6.0m
		SIDES = HEIGHT OF BUILDING - 3.0m (WHERE DEVELOPMENT IS 10m BEHIND FRONT BUILDING LINE AND > 4.5m ABOVE GROUND LEVEL	1.5m (<4.5m ABOVE GROUND LEVEL)
	BCA (RFB)	SIDE = 3.0m	3.0m
	LRHDG	REAR = 6.0m (WHERE NO DCP REAR SETBACK)	6.0m
LANDSCAPED AREA	RV-DCP	30 % OF LOT AREA = 1067.4m ²	1107m ² = 31.1%
	LRHDG	50 % OF AREA FORWARD OF BUILDING LINE	318m ² = 66%
DEEP SOIL	H-SEPP	15% OF SITE AREA, MIN DIMENSION 3m = 533.6m ² MIN TOTAL	633m ² TOTAL
		66% OF REQUIRED DEEP SOIL AT REAR = 346.8m ² MIN AT REAR	351m ² AT REAR
SOLAR ACCESS	LRHDG	2 HOURS MINIMUM IN LIVING ROOM/POS OF EACH DWELLING BETWEEN 9AM-3PM ON WINTER SOLSTICE	18/18 = 100%
	LAHC	2 HOURS TO 70% UNITS	
CROSS-VENTILATION	LRHDG	EACH DWELLING TO BE NATURALLY CROSS VENTILATED	18/18 = 100%
POS	LAHC	1 BED - 8m ² 2 BED - 10m ² 3 BED - 12m ²	SEE TABLE ABOVE
	RV-DCP	1 AND 2 BED - 16m ² WITH 3m DIMENSION 3 BED - 25m ² WITH 3m DIMENSION	
	LRHDG	45m ² WITH 5m DIMENSION FOR EACH DWELLING 12m ² PAVED AREA WITH 3m DIMENSION BEHIND THE FRONT BUILDING LINE	
UNIT SIZE AND LAYOUT	LAHC	1 BED - 50m ² 2 BED - 70m ² 3 BED - 90m ²	SEE TABLE ABOVE
	LRHDG	1 BED - 65m ² 2 BED - 90m ² 3 BED - 115m ²	
LOT SIZE AND WIDTH	RV-DCP	MINIMUM LOT SIZE - 1000m ² MINIMUM LOT WIDTH - 20m	LOT SIZE = 3558m ² LOT WIDTH - 80.5m
ADAPTABLE HOUSING		10% OF UNITS	2/18 = 11%

* GROSS FLOOR AREA CALCULATION FOR H-SEPP EXCLUDES EXTERIOR WALLS BUT INCLUDES COMMON VERTICAL CIRCULATION SPACE

RV-LEP = RICHMOND VALLEY LOCAL ENVIRONMENTAL PLAN 2012
RV-DCP = RICHMOND VALLEY DEVELOPMENT CONTROL PLAN 2021
H-SEPP = HOUSING SEPP
LRHDG = LOW RISE HOUSING DIVERSITY GUIDE
LAHC = LAND AND HOUSING CORPORATION DWELLING REQUIREMENTS



NOMINATED ARCHITECT:	SIGNATURE:	F	19/03/24	FOR REVIEW
MICHAEL BULLEN		E	22/02/24	FOR REVIEW
		D	17/10/23	FOR REVIEW
		C	19/09/23	FOR REVIEW
		B	03/07/23	FOR REVIEW
REV	DATE	NOTATION/AMENDMENT		
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.				

ARCHITECT
BREWSTER MURRAY PTY LTD

BCA CONSULTANT

CONSULTING ENGINEERS

LANDSCAPE CONSULTANT

CLIENT
HOMES NSW

PROJECT
RESIDENTIAL FLAT BUILDING AND MULTI DWELLING HOUSING DEVELOPMENT UNDER NSW HOUSING SEPP 2021

64-70 STAPLETON AVENUE, CASINO 2470
LOTS 8, 9, 10, 11 IN DP31850

TITLE
COVER SHEET

FILE

PLOTTED

STATUS
SKETCH DESIGN

DATE	SCALE	PROJ	PROJECT NO
19/03/24	NTS	MB	BGZDY
STAGE	SHEET SIZE	DESIGNER	CHECKED
A	A1	AG	
SHEET	DA00		REV
			F

K:\100 - PROJECT\2022\22-6493 - LAHC 64-70 Stapleton Ave. Casino\04 - Drawings\02 - Sketch\22-6493_64-70StapletonAve_SK_CENTRAL_REV.D - NEW PITS.v4
16/03/2024 2:16:19 PM



64 STAPLETON AVENUE



66-68 STAPLETON AVENUE



68-70 STAPLETON AVENUE



115 CENTRE STREET - EXISTING RESIDENTIAL FLAT BUILDING



60 STAPLETON AVENUE - EXISTING MULTI DWELLING HOUSING



AERIAL PHOTO SOURCE: NSW SIX MAPS



AERIAL PHOTO SOURCE: NSW SIX MAPS



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REV	DATE	NOTATION/AMENDMENT		
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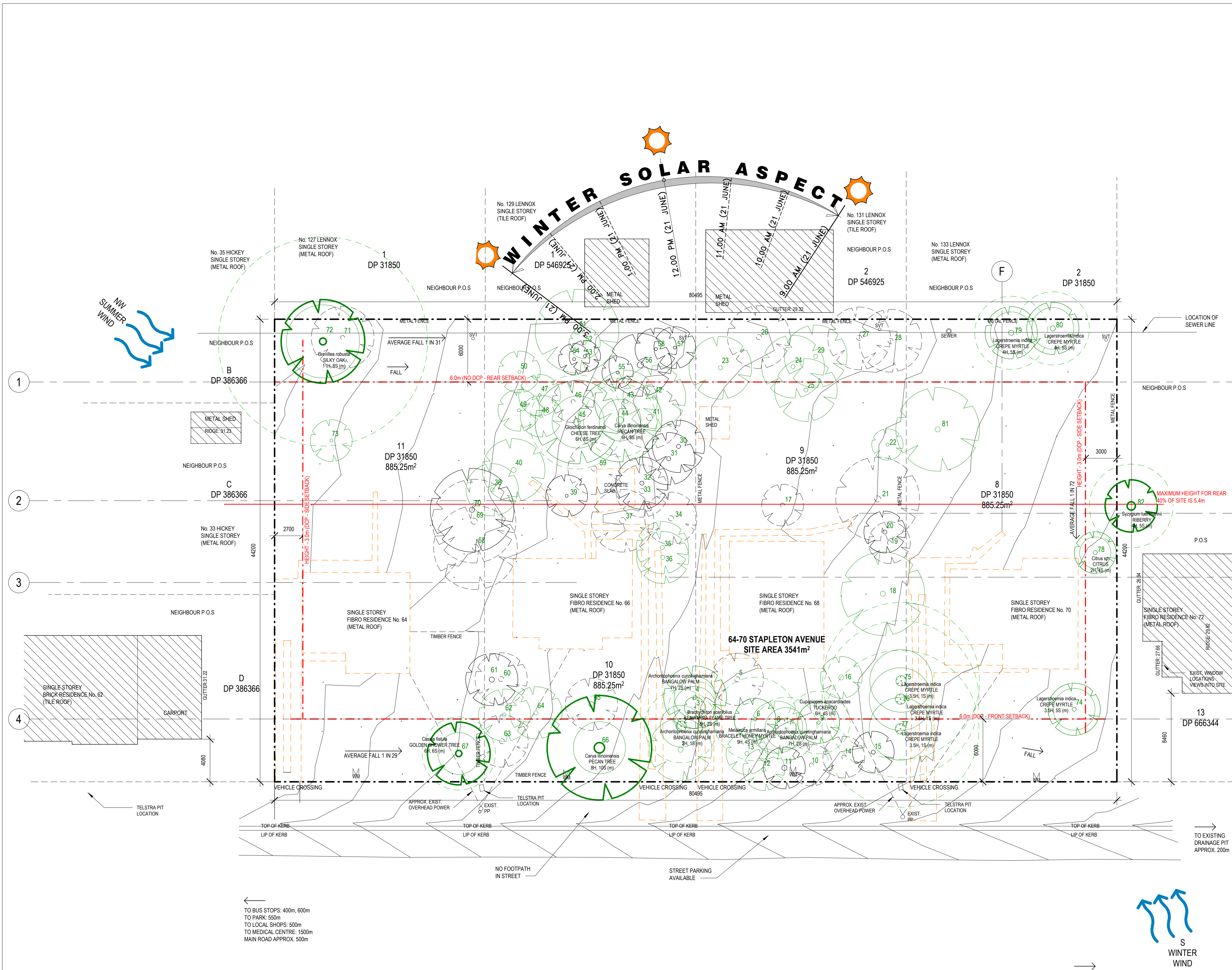
PROJECT
RESIDENTIAL FLAT BUILDING AND MULTI DWELLING HOUSING DEVELOPMENT UNDER NSW HOUSING SEPP 2021
64-70 STAPLETON AVENUE, CASINO 2470
LOTS 8, 9, 10, 11 IN DP31850

TITLE
BLOCK ANALYSIS

FILE
PLOTTED

STATUS
SKETCH DESIGN

DATE 19/09/23	SCALE NTS	PROJ MB	PROJECT NO BGZDY
STAGE A	SHEET SIZE A1	DESIGNER AG	CHECKED
TYPE	SHEET	DA01	REV C

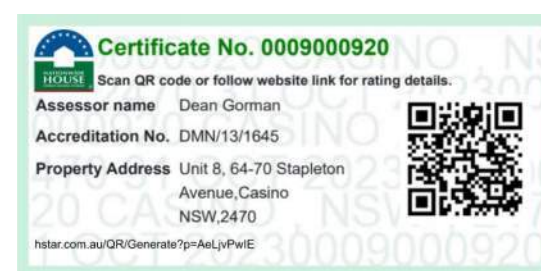


- LEGEND:**
- P.O.S
 - SVT
 - DEMOLITION LINE
 - EXISTING TREE: RECOMMENDED FOR REMOVAL
 - EXISTING TREE: VERY LOW RETENTION VALUE
 - EXISTING TREE: LOW RETENTION VALUE
 - EXISTING TREE: MEDIUM RETENTION VALUE
 - EXISTING TREE: HIGH RETENTION VALUE
 - TREE NUMBER
 - STRUCTURAL ROOT ZONE (SRZ)
 - TREE PROTECTION ZONE (TPZ - REFER TO ARBORIST REPORT FOR DIMENSIONS)

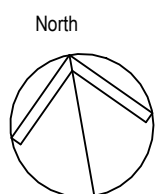
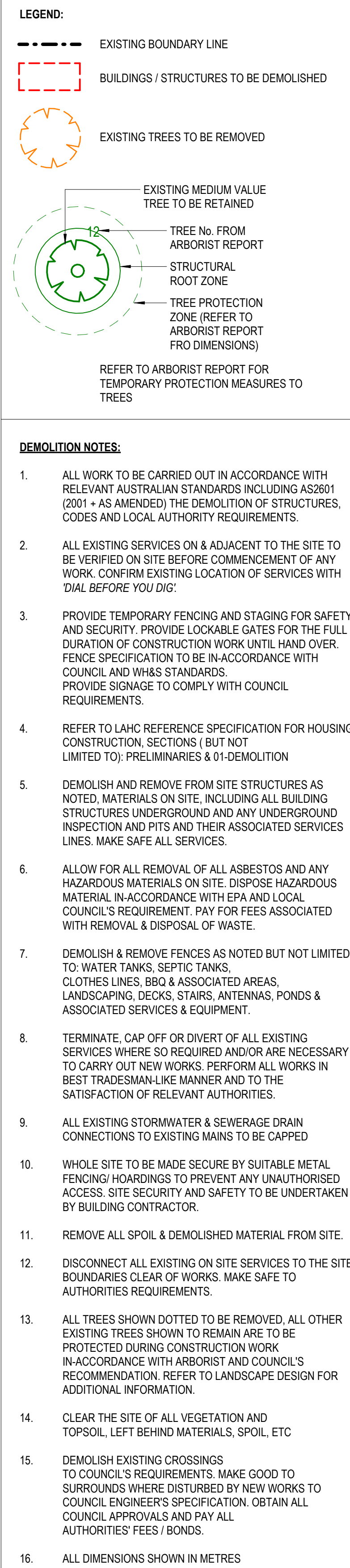
- SETBACKS:**
- MULTI DWELLING HOUSING:
- 6m
 - BUILDING HEIGHT - 3m (WHERE DEVELOPMENT IS 10m BEHIND FRONT BUILDING LINE AND GREATER THAN 4.5m ABOVE GROUND LEVEL)
 - 6m (NO DCP REAR SETBACK)

- SITE CHARACTERISTICS & POTENTIALS**
- SURROUNDING DEVELOPMENTS CONSISTS OF SINGLE STOREY DETACHED RESIDENTIAL BUILDINGS (M1 - LOW-MEDIUM DENSITY RESIDENTIAL)
 - LOW TRAFFIC LEVELS, BUT CLOSE TO LOCAL AIRPORT (1.3km)
 - LOCATED IN CLOSE PROXIMITY TO BUS STOPS AND LOCAL SHOPS
 - SITE SLOPES FROM WESTERN TO EASTERN SIDES
 - LARGE BLOCKS MINIMISE OVERSHADOWING FROM NEIGHBOURING HOUSES - LARGE BACK GARDENS
 - NORTH IS AT THE BACK OF THE SITE, ALLOWING FOR CONSISTENT SOLAR ACCESS
 - 90 DEGREE BOUNDARIES, RECTANGULAR SITE

- SITE CONSTRAINTS**
- LARGE NUMBER OF TREES - AWAITING ARBORIST REPORT
 - NO FOOTPATH IN STREET
 - DRAINAGE PIT LOCATED FAR FROM SITE
 - CLOSE PROXIMITY OF EASTERN NEIGHBOUR, WITH VIEWS DIRECTLY INTO SITE
 - LOCATION OF GARDEN SHEDS ALONG NORTHERN BOUNDARY - IMPACT SOLAR ACCESS
 - SITE IS NOT DEEMED AN ACCESSIBLE AREA - LACK OF FREQUENT BUS SERVICES



	NOMINATED ARCHITECT:			SIGNATURE:						ARCHITECT BREWSTER MURRAY PTY LTD PH (02) 9299 0888	CONSULTING ENGINEERS GREENVIEW CONSULTING	CLIENT HOMES NSW	PROJECT RESIDENTIAL FLAT BUILDING AND MULTI DWELLING HOUSING DEVELOPMENT UNDER NSW HOUSING SEPP 2021 64-70 STAPLETON AVENUE, CASINO 2470 LOTS 8, 9, 10, 11 IN DP31850	TITLE SITE ANALYSIS		STATUS SKETCH DESIGN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
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1 | SITE PLAN

SCALE 1 : 200

- | LEGEND: | | |
|---|--------------------|---|
|  | 2 BEDROOM UNIT |  BALCONY OVER |
|  | 3 BEDROOM UNIT |  EXISTING BUILDING
TO BE DEMOLISHED |
|  | BALCONY / PATIO |  CIRCULATION
CLEARANCE |
|  | LANDSCAPE AREA |  200MM GRATE
DRAIN |
|  | DEEP SOIL AREA | P.O.S. PRIVATE OPEN SPACE |
|  | CONCRETE / PATHWAY | PP POWER POLE |
|  | DRIVEWAY | T TELSTRAIT PIT |
| | | H HYDRANT |
| | | SW STORMWATER |
| | | RL INDICATIVE RELATIVE LEVEL |
| | | C.O.S. COMMON OPEN SPACE |
| | | G GARBAGE BINS |
| | | SD SEWER/STORMWATER DIVERTER
OUTLET (INDICATIVE) |

-
-  EXISTING TREE TO BE RETAINED MEDIUM RETENTION VALUE (WITH TPZ DASHED)
-  EXISTING TREE TO BE RETAINED LOW RETENTION VALUE (WITH TPZ DASHED)
-  EXISTING TREE - TO BE DEMOLISHED
-  NEW PROPOSED TREES
-  NEW PROPOSED LANDSCAPING - REFER TO LANDSCAPE PLAN

GENERAL NOTES:

- REFER TO CIVIL ENGINEERS DOCUMENTATION FOR PROPOSED STORMWATER
- REFER TO SURVEY FOR ALL EXISTING SERVICES
- REFER TO LANDSCAPE PLAN FOR PLANTING TYPES
- ALL SLOPE ARROWS SHOW SLOPE UP UNLESS ANNOTATED 'FALL'
- READ IN CONJUNCTION WITH CUT & FILL PLAN AND RETAINING WALLS SECTIONS
- FENCE FEN-1 TYPICAL HEIGHT 1.2m AT FRONT, 1.8m AT REAR & WHERE PRIVACY REQUIRED
- FENCE FEN-2 TYPICAL HEIGHT 1.8m (BOUNDARY FENCE)
- FENCE FEN-3 TYPICAL HEIGHT 1.2m AT FRONT, 1.8m AT REAR, EXCEPT AS NOTED
- FENCE FEN-4 TYPICAL HEIGHT 1.4m (GARBAGE BIN AREA BRICK WALLS)

DEEP SOIL ZONES CALCULATION:

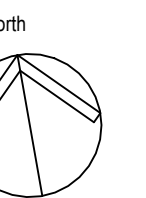
DSZ-1	71m ²
DSZ-2	22m ²
DSZ-3	41m ²
DSZ-4	114m ²
DSZ-5	34m ²
DSZ-6	60m ² (AT REAR)
DSZ-7	37m ² (AT REAR)
DSZ-8	147m ² (AT REAR)
DSZ-9	107m ² (AT REAR)
TOTAL	633m ²

TOTAL 633m²



TREE 72
SILKY OAK

NOMINATED ARCHITECT:	SIGNATURE:	F 19/03/24 FOR REVIEW	ARCHITECT BREWSTER MURRAY PTY LTD PH (02) 9399 0988	CONSULTING ENGINEERS GREENVIEW CONSULTING	CLIENT HOMES NSW	PROJECT RESIDENTIAL FLAT BUILDING AND MULTI DWELLING HOUSING DEVELOPMENT UNDER NSW HOUSING SEPP 2021 64-70 STAPLETON AVENUE, CASINO 2470 LOTS 8, 9, 10, 11 IN DP31850	TITLE SITE PLAN				STATUS SKETCH DESIGN				
MICHAEL BULLEN		E 22/02/24 FOR REVIEW									D 17/10/23 FOR REVIEW	C 19/09/23 FOR REVIEW	B 03/07/23 FOR REVIEW	DATE 19/03/24	SCALE 1:200
										STAGE	SHEET SIZE A1	DESIGNER AG	CHECKED MB		
		REV					DATE	NOTATION/AMENDMENT	BCA CONSULTANT	LANDSCAPE CONSULTANT	FILE	PLOTTED	TYPE	SHEET	REV
		DO NOT SCALE DRAWINGS, CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.						GREENLAND DESIGN				DA04	F		

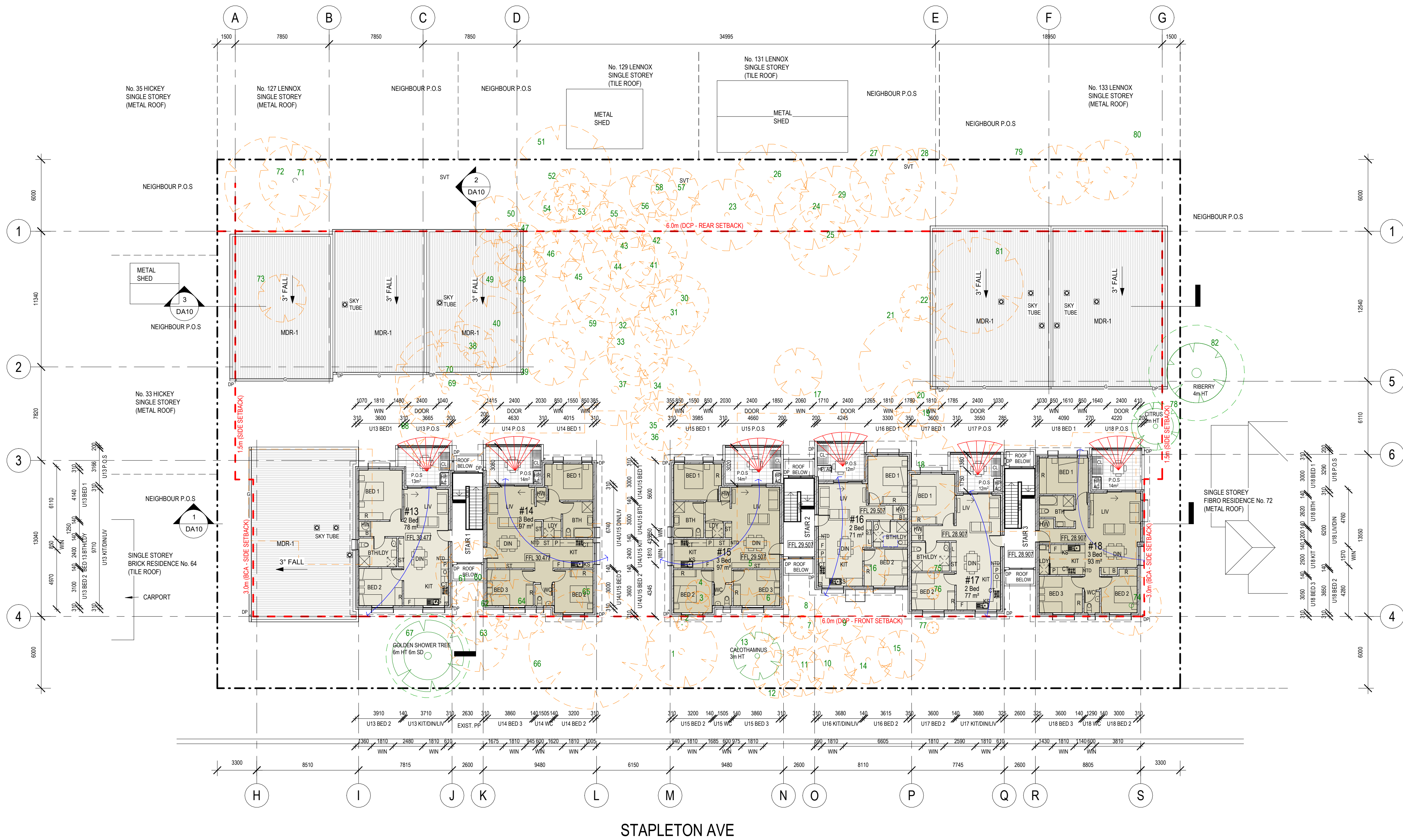




1 | GROUND FLOOR PLAN



NOMINATED ARCHITECT:	SIGNATURE:	F 19/03/24 FOR REVIEW	ARCHITECT	CONSULTING ENGINEERS	CLIENT HOMES NSW	PROJECT RESIDENTIAL FLAT BUILDING AND MULTI DWELLING HOUSING DEVELOPMENT UNDER NSW HOUSING SEPP 2021 64-70 STAPLETON AVENUE, CASINO 2470 LOTS 8, 9, 10, 11 IN DP31850	TITLE GROUND FLOOR PLAN	STATUS SKETCH DESIGN			
MICHAEL BULLEN		E 22/02/24 FOR REVIEW						DATE 19/03/24	SCALE 1:100	PROJ MB	PROJECT No BGZDY
		D 17/10/23 FOR REVIEW	BREWSTER MURRAY PTY LTD PH (02) 9299 0988	GREENVIEW CONSULTING				STAGE	SHEET SIZE A1	DESIGNER AG	CHECKED MB
		C 19/09/23 FOR REVIEW						FILE		PLOTTED	
		B 03/07/23 FOR REVIEW	BCA CONSULTANT	LANDSCAPE CONSULTANT				TYPE	SHEET		REV
		REV DATE NOTATION/AMENDMENT		GREENLAND DESIGN				DA05	F		
		DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.									



LEGEND:

- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- BALCONY / PATIO
- LANDSCAPE AREA
- DEEP SOIL AREA
- CONCRETE / PATHWAY
- DRIVEWAY
- SOLAR ACCESS MIDWINTER
- CROSS VENTILATION
- EXISTING TREE TO BE RETAINED (WITH TPZ DASHED)
- EXISTING TREE - TO BE DEMOLISHED
- ROOF OVER
- EXISTING BUILDING TO BE DEMOLISHED
- CIRCULATION CLEARANCE
- P.O.S.
- F.F.L.
- CL
- B
- L
- KS
- CT
- P
- F
- WO
- HHW
- PRIVATE OPEN SPACE
- FINISHED FLOOR LEVEL
- CLOTHES LINE
- BROOM CUPBOARD
- LINEN
- KITCHEN SINK
- COOKTOP
- PANTRY
- FRIDGE
- WALL OVEN
- GAS HOT WATER HEATER

1 FIRST FLOOR PLAN
SCALE 1:200



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MICHAEL BULLEN		D 17/10/23 FOR REVIEW
		C 19/09/23 FOR REVIEW
		B 03/07/23 FOR REVIEW
		A 23/06/23 FOR REVIEW
REV	DATE	NOTATION/AMENDMENT
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PH (02) 9259 0888

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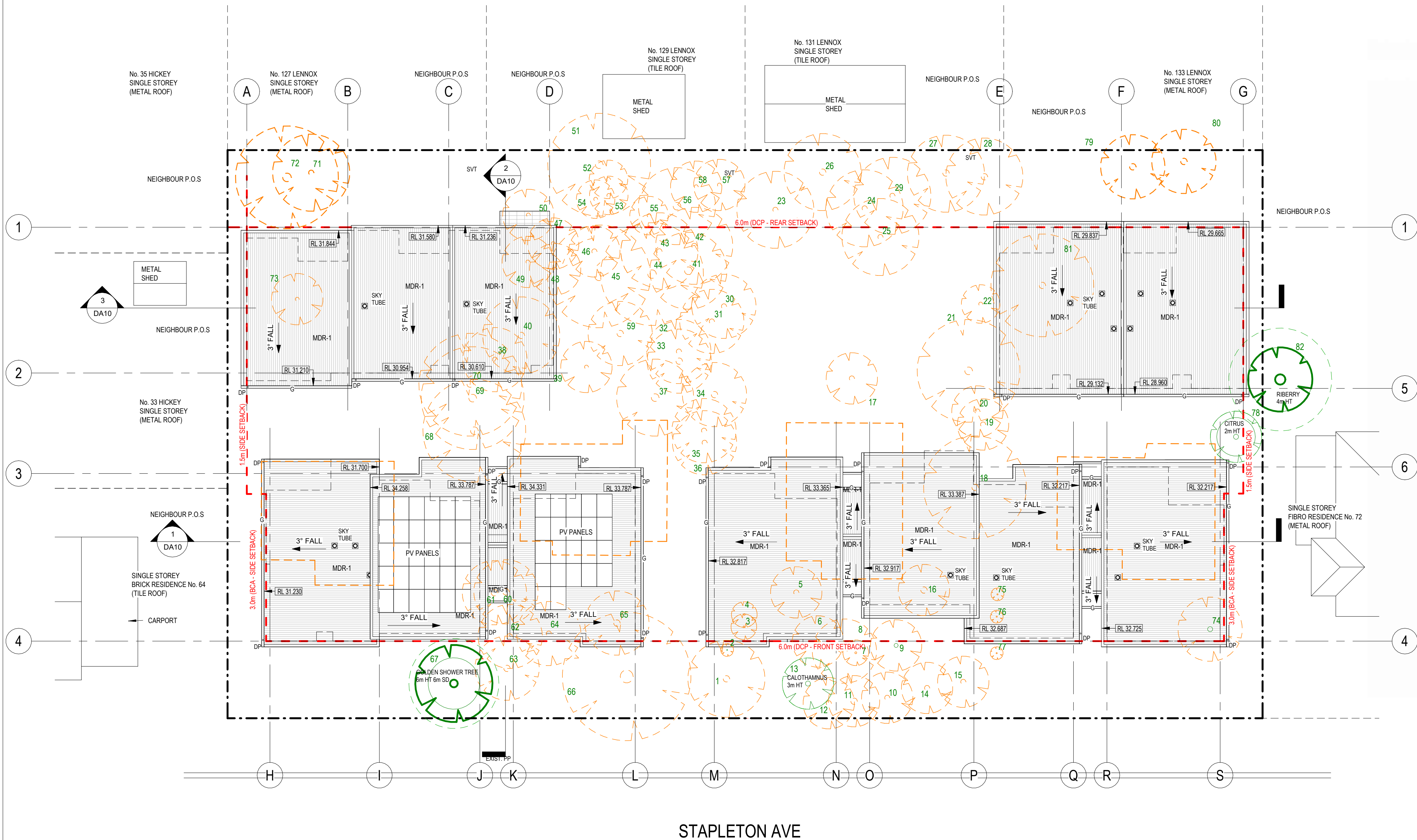
PROJECT
RESIDENTIAL FLAT BUILDING AND MULTI DWELLING HOUSING DEVELOPMENT UNDER NSW HOUSING SEPP 2021
64-70 STAPLETON AVENUE, CASINO 2470
LOTS 8, 9, 10, 11 IN DP31850

TITLE
FIRST FLOOR PLAN

FILE
PLOTTED

STATUS
SKETCH DESIGN

DATE 22/02/24	SCALE 1:200	PROJ MB	PROJECT NO BGZDY
STAGE	SHEET SIZE A1	DESIGNER AG	CHECKED MB
TYPE	SHEET	DA06	REV E



NCC 2022 NatHERS Thermal Performance Specification - Casino			
External Walls			
Wall Type	Insulation	Colour	Comments
Cavity Brick	R0.7	Light - SA < 0.475	Throughout, as per elevations
Fibre Cement Sheeting	R2.5	Dark - SA > 0.70	Throughout, as per elevations
SA - Solar Absorptance			
Internal Walls			
Wall Type	Insulation	Comments	
Single skin brick	None	Internally in units (Ground floor)	
Plasterboard stud	None	Internally in units (Level 1)	
Cavity Brick	None	Shared walls with units/lobbies	
Floors			
Floor Type	Insulation	Comments	
Concrete slab on ground	None	Ground floor	
Concrete	None	Level 1 (units above)	
Ceilings			
Ceiling Type	Insulation	Comments	
Plasterboard	None	Unit above	
Plasterboard	R2.5	Roof/air above	
Insulation loss due to downlights has been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof			
Roof Type	Insulation	Colour	Comments
Metal	R1.3 foil-faced blanket	Light - SA < 0.475	Throughout (unventilated cavity)
SA - Solar Absorptance			
Glazing			
Opening type	U-Value	SHGC	Glazing & Frame Type
Sliding + Fixed (Throughout)	6.7	0.70	e.g. Single glazed clear Aluminium frame
Awning (Throughout)	6.7	0.57	e.g. Single glazed clear Aluminium frame
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ± 10% of the above specified values.			
Skylights			
Skylight Type	Frame Type	Comments	
Tubular	Timber and aluminium	Single glazed clear, Bathrooms in Units: 1, 9-12, 16-18, WCs in Units: 1, 11 & 12, Laundrys in Units: 1, 11-12, 18	
Ceiling fan			
Size	Location	Comments	
1200mm in diameter	Living	Throughout	
900mm in diameter	Bedrooms	Throughout	

Certificate Prepared by



Greenview Consulting Pty Ltd
ABN: 32600067338
Email: dean@greenview.net.au Phone: 0404 649 762

1 ROOF PLAN
SCALE 1 : 200

LEGEND:

DP DOWNPIPE
G COLORBOND GUTTER
MDR-1 COLORBOND METAL DECK ROOF

NOTE:
REFER TO FINISHES SCHEDULE FOR MATERIALS



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MICHAEL BULLEN		22/02/24	FOR REVIEW
		17/10/23	FOR REVIEW
		19/09/23	FOR REVIEW
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		23/06/23	FOR REVIEW
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64-70 STAPLETON AVENUE, CASINO 2470 LOTS 8, 9, 10, 11 IN DP31850

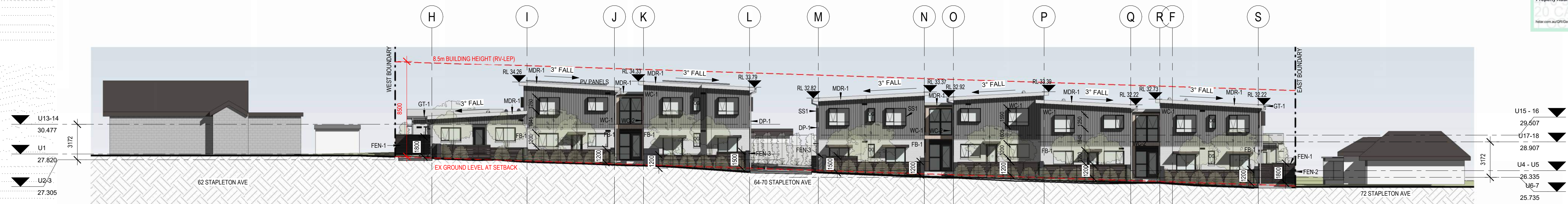
TITLE
ROOF PLAN

FILE
PLOTTED

STATUS
SKETCH DESIGN

DATE	SCALE	PROJ	PROJECT NO
22/02/24	1:200	MB	BGZDY
STAGE	SHEET SIZE	DESIGNER	CHECKED
	A1	AG	MB
SHEET	REV		
DA07	E		

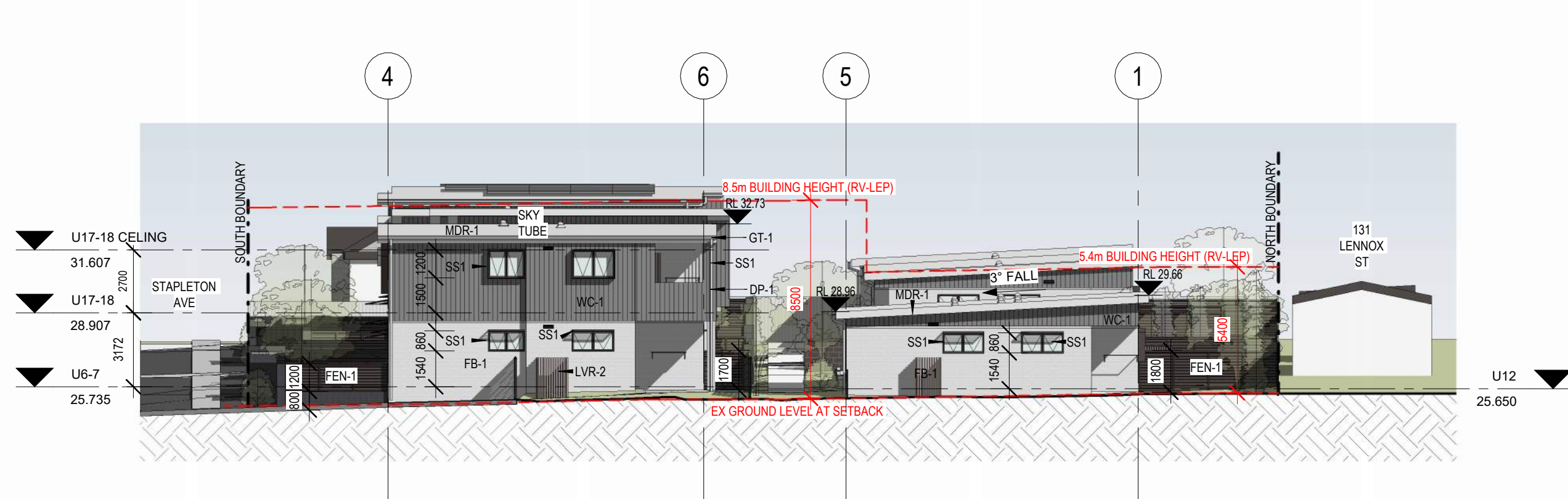




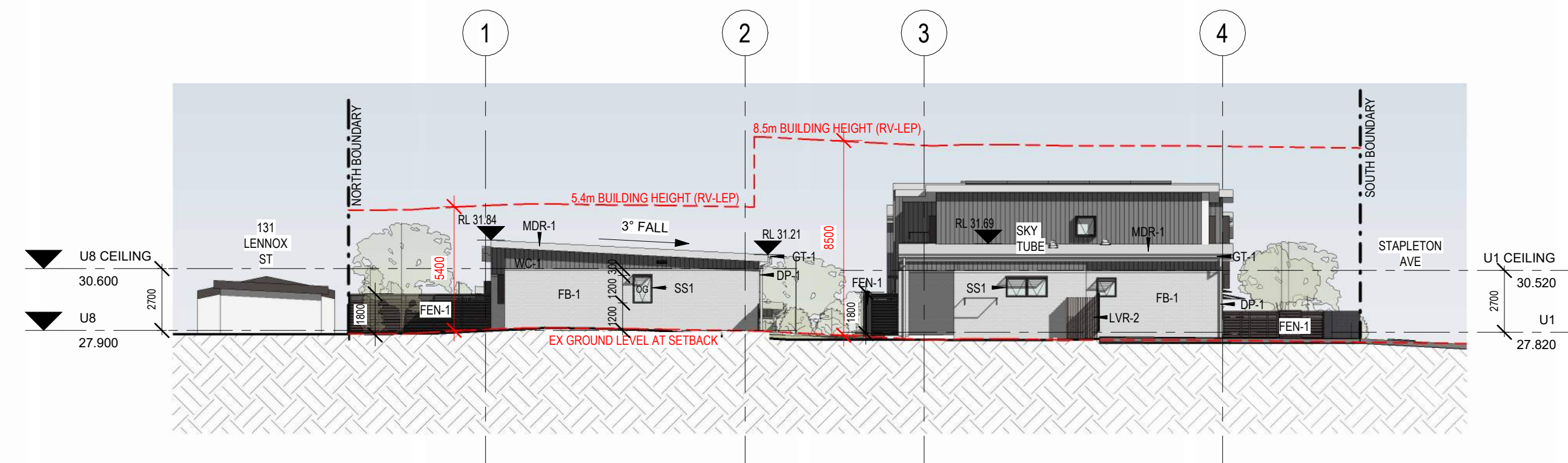
1 | SOUTH ELEVATION (STAPLETON AVE)
SCALE 1 : 200



2 | NORTH ELEVATION
SCALE 1 : 200

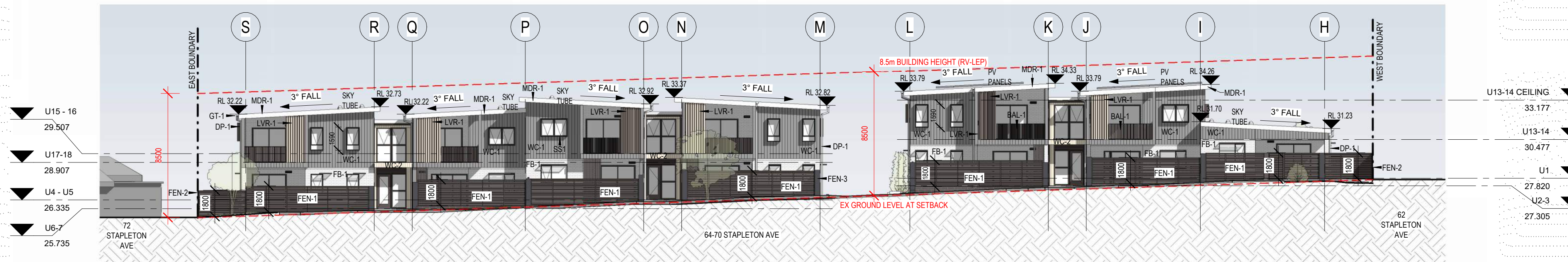


3 | EAST ELEVATION
SCALE 1 : 200

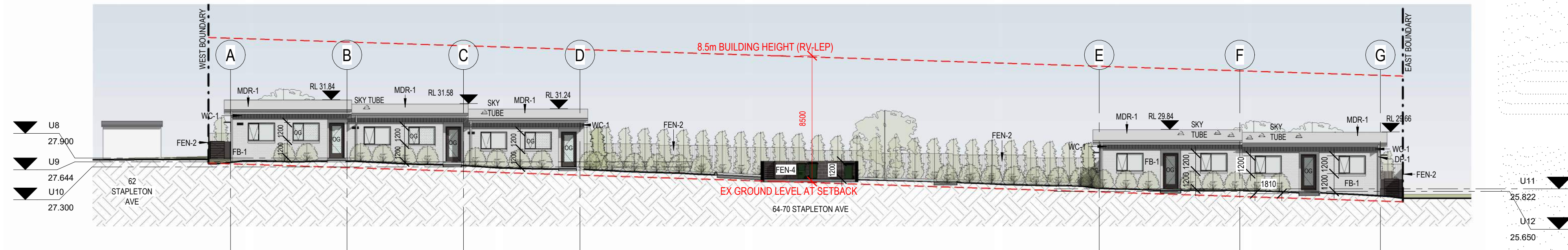


4 | WEST ELEVATION
SCALE 1 : 200

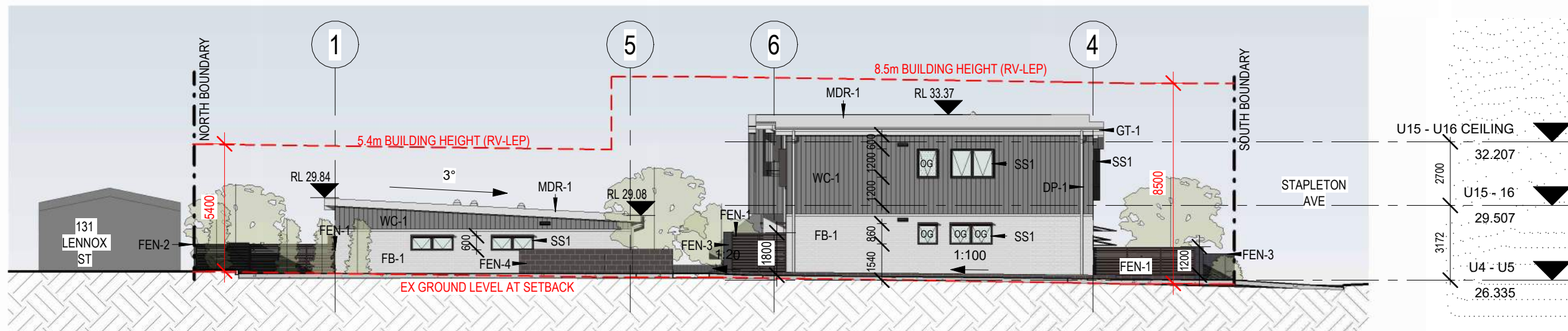
K:\100 - PROJECT\2022\22-6493 - LAHC 64-70 Stapleton Ave Casino\04- Drawings\02- Sketch\02-6493_64-70StapletonAve_SK_CENTRAL_REV.D - NEW PITS.v4
15/03/2024 2:17:02 PM



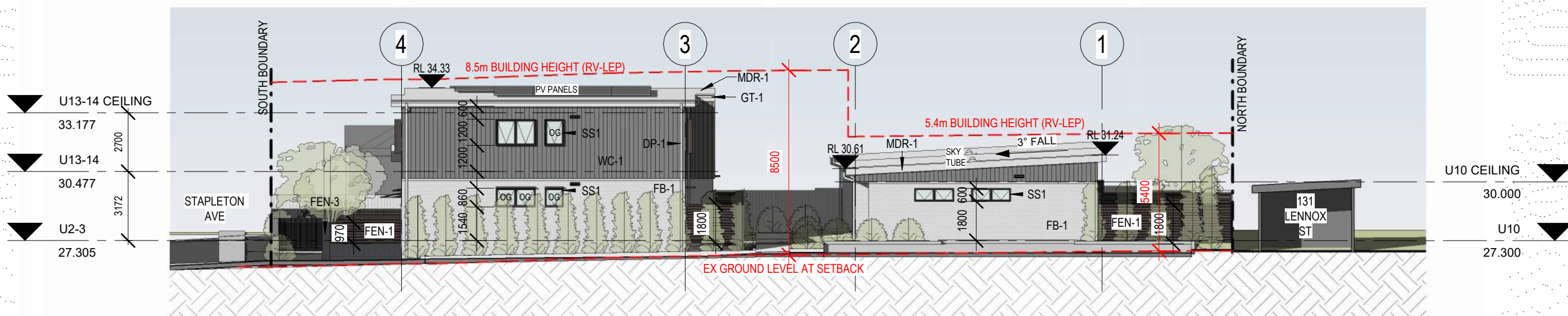
5 FRONT UNITS NORTH ELEVATION
SCALE 1 : 200



6 REAR UNITS SOUTH ELEVATION
SCALE 1 : 200



7 WEST ELEVATION (FROM CARPARK)
SCALE 1 : 200



8 EAST ELEVATION (FROM CARPARK)
SCALE 1 : 200

EXTERIOR FINISHES

CODE	MATERIAL	DESCRIPTION	FINISH
FB-1		FACE BRICK	LIGHT GREY WITH NATURAL VARIATION
WC-1		WALL CLADDING	FIBRE CEMENT SHEETING DARK GREY
MDR-1 DP-1, GT-1		METAL ROOF	SIMILAR TO COLORBOND SHALE GREY
SS1, VT, BAL-1, FEN-1, DP-2, GT-2		ALUMINIUM WINDOW & DOOR FRAMES, VENTS, METAL FLASHINGS, ALUMINIUM PRIVACY FENCING, GUTTERS, DOWNPIPES, METAL FLASHINGS	SIMILAR TO COLORBOND WOODLAND GREY
WC-2		METAL CLADDING	SIMILAR TO SAND

CODE	MATERIAL	DESCRIPTION	FINISH
CONC-1		PATHWAYS	LIGHT GREY CONCRETE
CONC-2		DRIVEWAYS	DARK GREY CONCRETE
FEN-3		FENCE PIERS	DARK GREY
FEN-4		SPLIT FACE BLOCK	DARK GREY
LVR-1, LVR-2		PRIVACY LOUVRES	WOOD-LOOK ALUMINIUM



NOMINATED ARCHITECT:	SIGNATURE:	E 22/02/24 FOR REVIEW
MICHAEL BULLEN		D 17/10/23 FOR REVIEW
		C 19/09/23 FOR REVIEW
		B 03/07/23 FOR REVIEW
		A 23/06/23 FOR REVIEW
REV	DATE	NOTATION/AMENDMENT
		DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.

ARCHITECT	CONSULTING ENGINEERS	CLIENT
BREWSTER MURRAY PTY LTD		HOMES NSW
BCA CONSULTANT	LANDSCAPE CONSULTANT	

PROJECT	TITLE
RESIDENTIAL FLAT BUILDING AND MULTI DWELLING HOUSING DEVELOPMENT UNDER NSW HOUSING SEPP 2021	ELEVATIONS 2 + MATERIAL LIST
64-70 STAPLETON AVENUE, CASINO 2470 LOTS 8, 9, 10, 11 IN DP31850	

STATUS	SCALE	PROJ	PROJECT NO
SKETCH DESIGN	1:200	MB	BGZDY
DATE 22/02/24	SHEET SIZE	DESIGNER	CHECKED
STAGE A	A1	AG	
TYPE	SHEET	REV	
	DA09	E	

Architectural section drawing of a residential building. The drawing shows three units (#8, #9, #10, #11, #12) and a north boundary fence. The drawing includes floor levels, room layouts, and a 5.4m building height for the rear 40% of the site. The drawing is a cross-section showing the internal structure and layout of the building. The units are labeled #8, #9, #10, #11, and #12. The drawing shows the internal layout of each unit, including bedrooms, living areas, and bathrooms. The drawing also shows the external structure, including the roof and walls. The drawing includes a north boundary fence and a 5.4m building height for the rear 40% of the site. The drawing is a cross-section showing the internal structure and layout of the building.

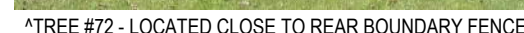

Certificate No. 0009000920

Scan QR code or follow website link for rating details.

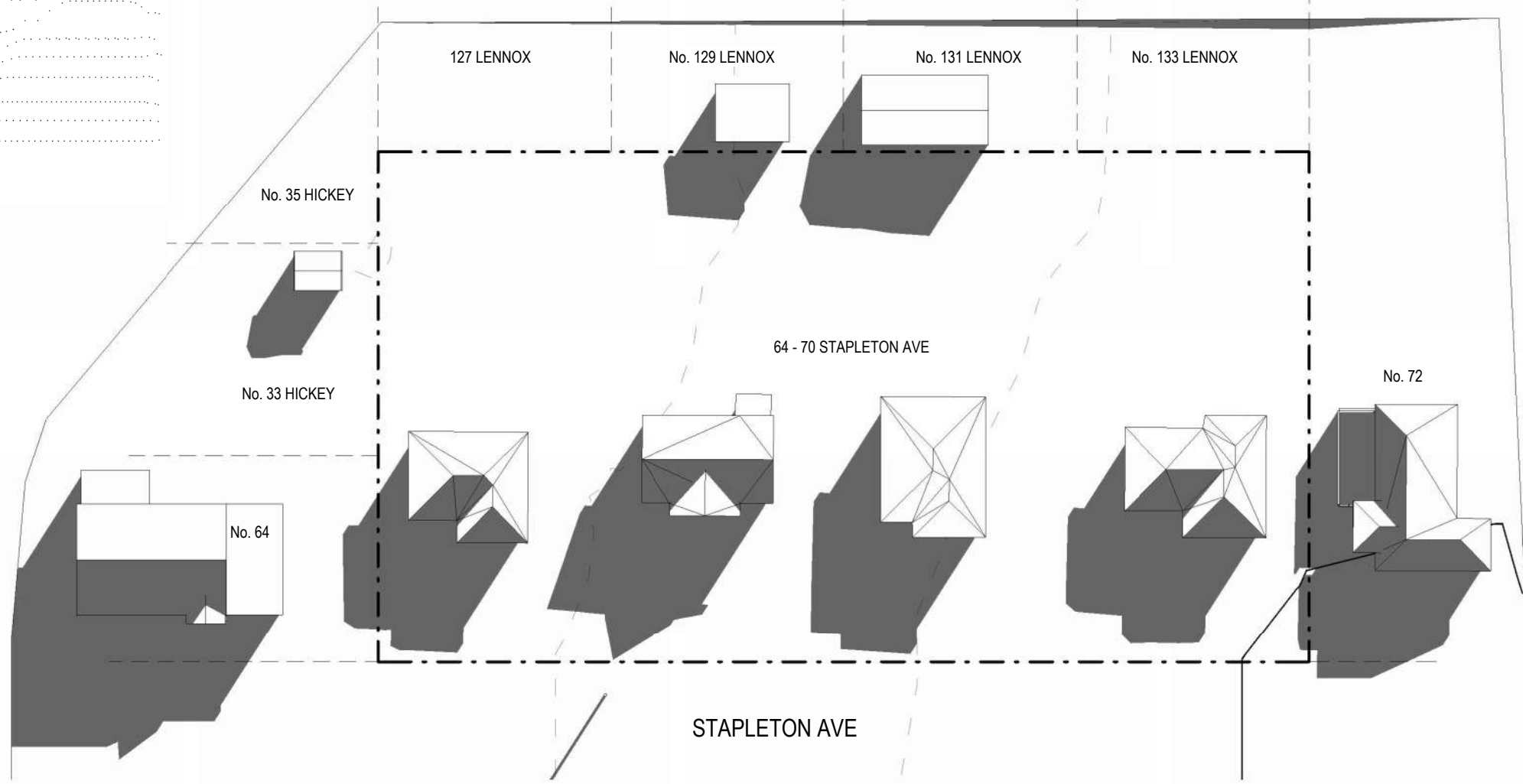
Assessor name	Dean Gorman
Accreditation No.	DMN/13/1645
Property Address	Unit 8, 64-70 Stapleton Avenue, Casino NSW 2470



hstar.com.au/QR/Generate?pn=A&lyPwE



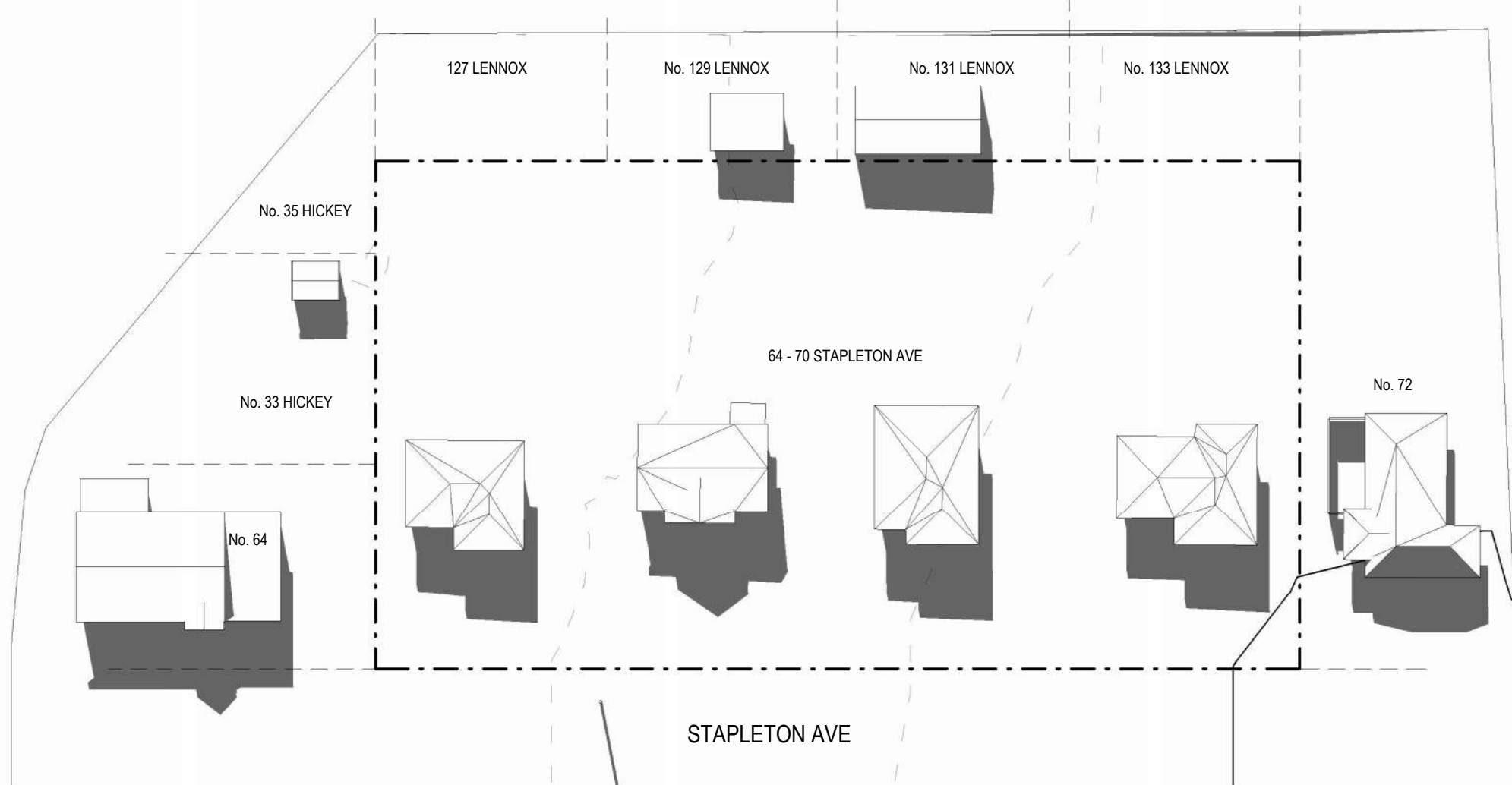
STATUS				SKETCH DESIGN			
DATE		SCALE		PROJ		PROJECT No	
17/10/23				MB		BGZDY	
STAGE		SHEET SIZE		DESIGNER		CHECKED	
		A1		AG		MB	
TYPE		SHEET				REV	
		DA11				D	



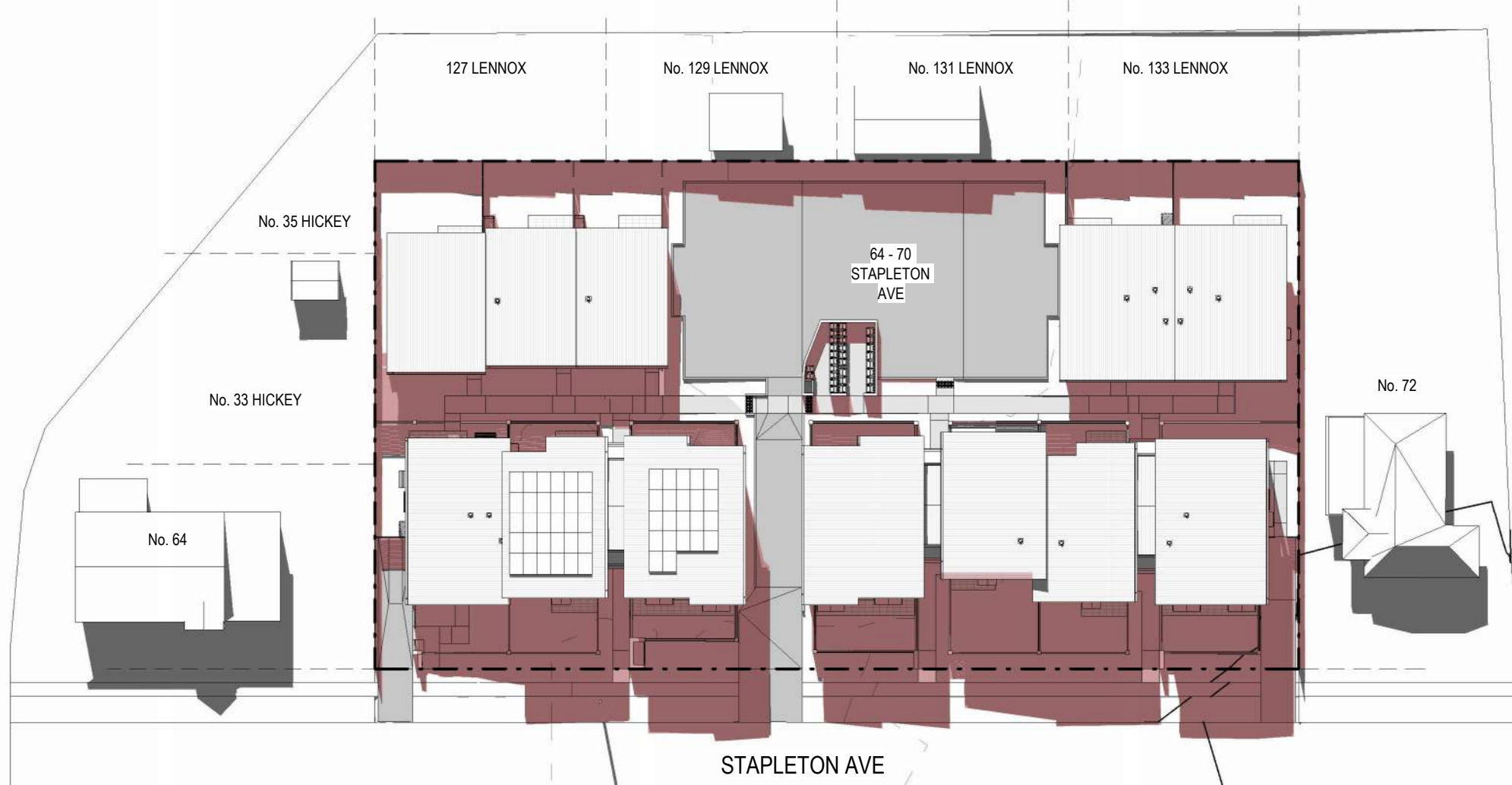
1 SHADOW IMPACT 9 AM - EXISTING
SCALE 1 : 500



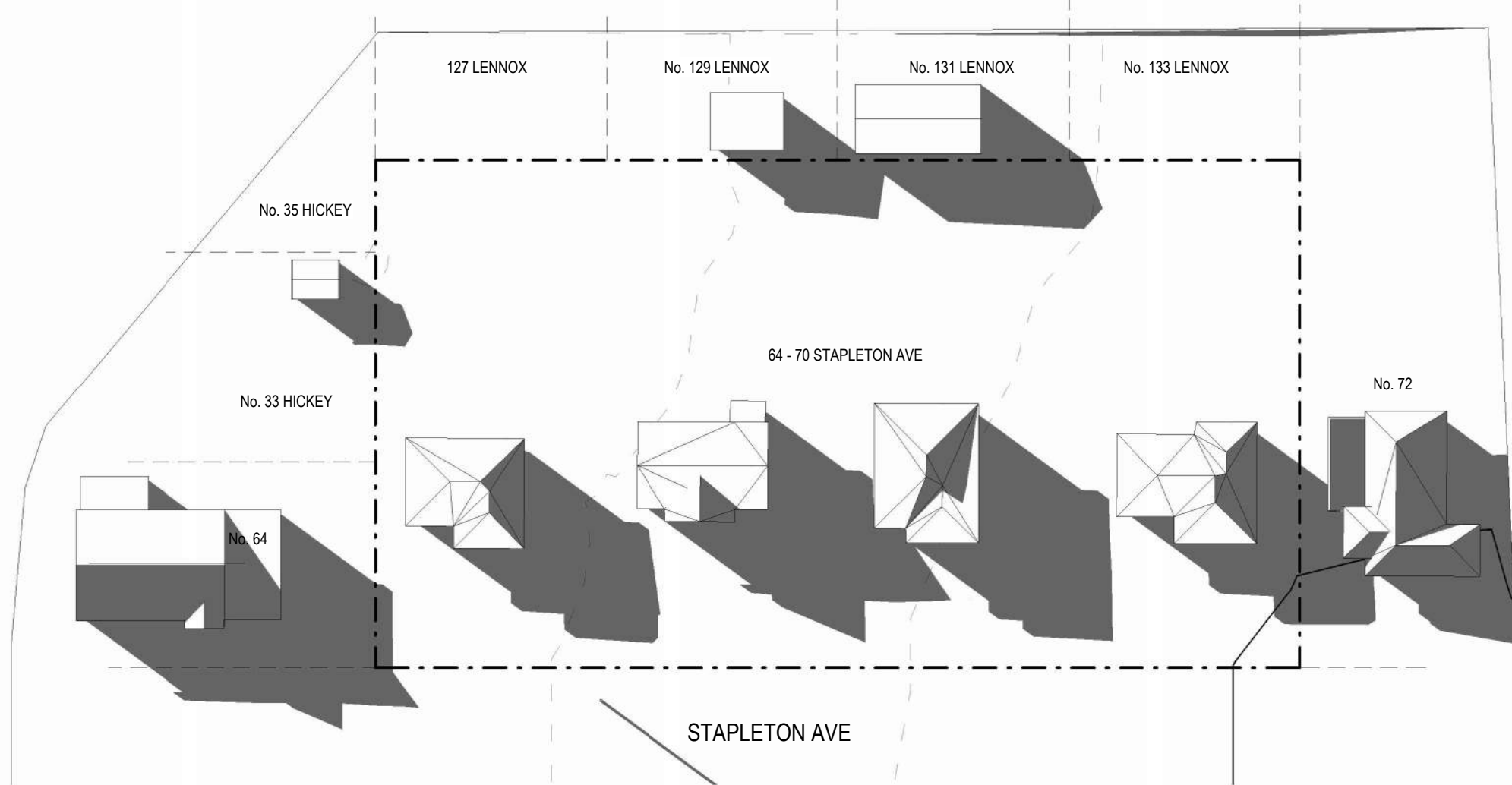
4 SHADOW IMPACT 9 AM - PROPOSED
SCALE 1 : 500



2 SHADOW IMPACT 12PM - EXISTING
SCALE 1 : 500



5 SHADOW IMPACT 12PM - PROPOSED
SCALE 1 : 500

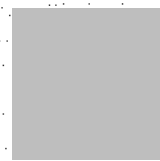


3 SHADOW IMPACT 3PM - EXISTING
SCALE 1 : 500

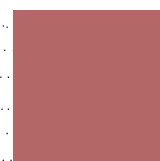


6 SHADOW IMPACT 3PM - PROPOSED
SCALE 1 : 500

OVERSHADOWING LEGEND:



GREY AREA INDICATES EXTENT OF SHADOWS CAST BY EXISTING DEVELOPMENT



PINK AREA INDICATES EXTENT SHADOWS CAST BY PROPOSED DEVELOPMENT

NOTE: NEIGHBOURING PROPERTIES OUTLINES ARE SHOWN INDICATIVE ONLY



NOMINATED ARCHITECT:		SIGNATURE:	
MICHAEL BULLEN			
D	17/10/23	FOR REVIEW	
C	19/09/23	FOR REVIEW	
B	03/07/23	FOR REVIEW	
A	23/06/23	FOR REVIEW	
REV	DATE	NOTATION/AMENDMENT	
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.			

ARCHITECT	BREWSTER MURRAY PTY LTD
BCA CONSULTANT	

CONSULTING ENGINEERS	
LANDSCAPE CONSULTANT	

CLIENT	HOMES NSW
--------	-----------

PROJECT	RESIDENTIAL FLAT BUILDING AND MULTI DWELLING HOUSING DEVELOPMENT UNDER NSW HOUSING SEPP 2021
	64-70 STAPLETON AVENUE, CASINO 2470 LOTS 8, 9, 10, 11 IN DP31850

TITLE	SHADOW DIAGRAMS
FILE	
PLOTTED	

STATUS	SKETCH DESIGN	PROJECT NO	BGZDY
DATE	17/10/23	SCALE	1:500
STAGE	A	PROJ	MB
		DESIGNER	AG
SHEET	A1	CHECKED	
TYPE		REV	D
SHEET	DA12		

K:\100 - PROJECT\2022\22-6493 - LAHC 64-70 Stapleton Ave Casino\04 - Drawings\02 - Sketch\22-6493_64-70StapletonAve_SK_CENTRAL_REV.D - NEW PITS.v4
16/03/2024 2:17:40 PM



1 | VFS - 9AM
SCALE



2 | VFS - 10AM
SCALE



3 | VFS - 11AM
SCALE



4 | VFS - 12PM
SCALE



5 | VFS - 1PM
SCALE



6 | VFS - 2PM
SCALE



7 | VFS - 3PM
SCALE



WINTER SOLAR ACCESS SUMMARY					2 HRS MIN. LIVING + P.O.S
UNIT	LIVING AREAS	P.O.S			
01	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
02	9AM - 11AM, 1PM - 3PM	4 HRS	9AM - 3PM	6 HRS	✓
03	9AM - 11AM, 1PM - 2PM	3 HRS	9AM - 3PM	6 HRS	✓
04	9AM - 3PM	6 HRS	10AM - 12PM, 2PM - 3PM	3 HRS	✓
05	9AM - 11AM, 1PM - 3PM	4 HRS	10AM - 12PM	2 HRS	✓
06	9AM - 11AM, 1PM - 2PM	3 HRS	9AM - 3PM	6 HRS	✓
07	9AM - 11AM, 1PM - 2PM	3 HRS	9AM - 3PM	6 HRS	✓
08	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
09	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
10	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
11	9AM - 2PM	5 HRS	9AM - 3PM	6 HRS	✓
12	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
13	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
14	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
15	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
16	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
17	9AM - 2PM	5 HRS	9AM - 2PM	5 HRS	✓
18	9AM - 1PM	4 HRS	9AM - 3PM	6 HRS	✓
TOTAL UNITS RECEIVING 2 HRS MIN LIVING + P.O.S: 18/18 UNITS = 100%					



NOMINATED ARCHITECT:		SIGNATURE:		
MICHAEL BULLEN				
D	17/10/23	FOR REVIEW		
C	19/09/23	FOR REVIEW		
B	03/07/23	FOR REVIEW		
A	23/06/23	FOR REVIEW		
REV	DATE	NOTATION/AMENDMENT		
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.				

ARCHITECT	
BREWSTER MURRAY PTY LTD	
BCA CONSULTANT	

CONSULTING ENGINEERS	
LANDSCAPE CONSULTANT	

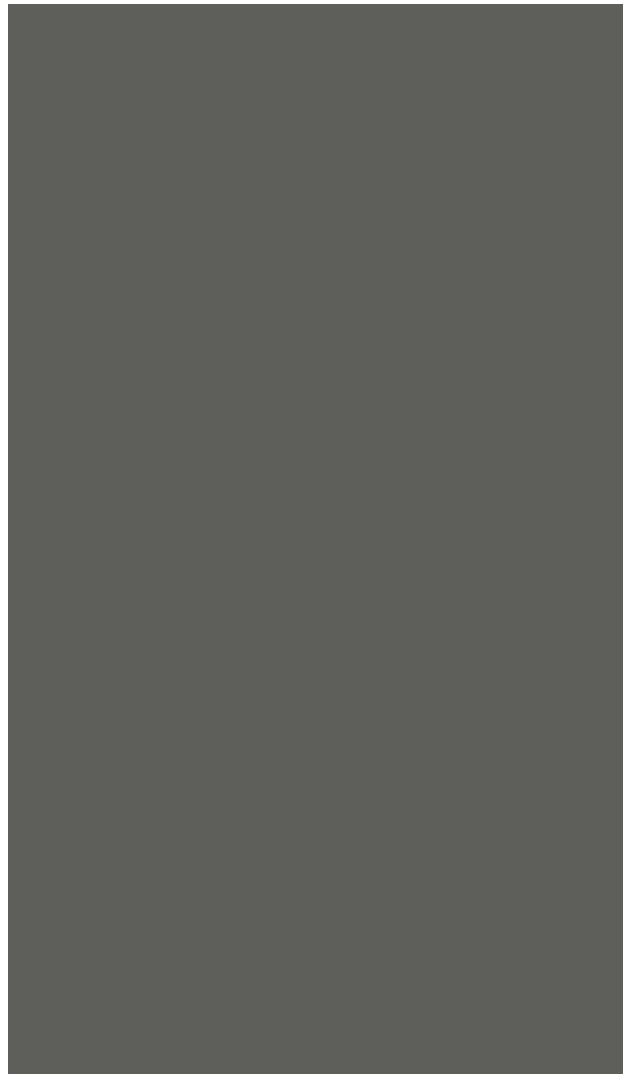
CLIENT	
HOMES NSW	

PROJECT	
RESIDENTIAL FLAT BUILDING AND MULTI DWELLING HOUSING DEVELOPMENT UNDER NSW HOUSING SEPP 2021	
64-70 STAPLETON AVENUE, CASINO 2470 LOTS 8, 9, 10, 11 IN DP31850	

TITLE	
VIEW FROM SUN	
FILE	
PLOTTED	

STATUS		SKETCH DESIGN		PROJECT NO:
DATE	17/10/23	SCALE	NTS	MB
STAGE	A	SHEET SIZE	A1	AG
TYPE		SHEET	DA13	REV
				D

K:\100 - PROJECT\2022\22-6493 - LAHC 64-70 Stapleton Ave. Casino\04 - Drawings\02 - Sketch\22-6493_64-70StapletonAve_SK_CENTRAL_REV.D - NEW FITS.v4
16/03/2024 2:17:41 PM



PREFINISHED STEEL
- SIMILAR TO COLORBOND
WOODLAND GREY
WINDOW & DOOR FRAMES, SUN
SHADES, FENCING, TRIMS

FEN-1 G DP2 SS1



CERAMIC TILES - PRIVATE OPEN
SPACE - LIGHT GREY

CT-1



METAL WALL CLADDING
- SAND COLOUR

WC-2



PREFINISHED METAL ROOFING
- SIMILAR TO COLORBOND SHALE GREY

MDR-1 DP1



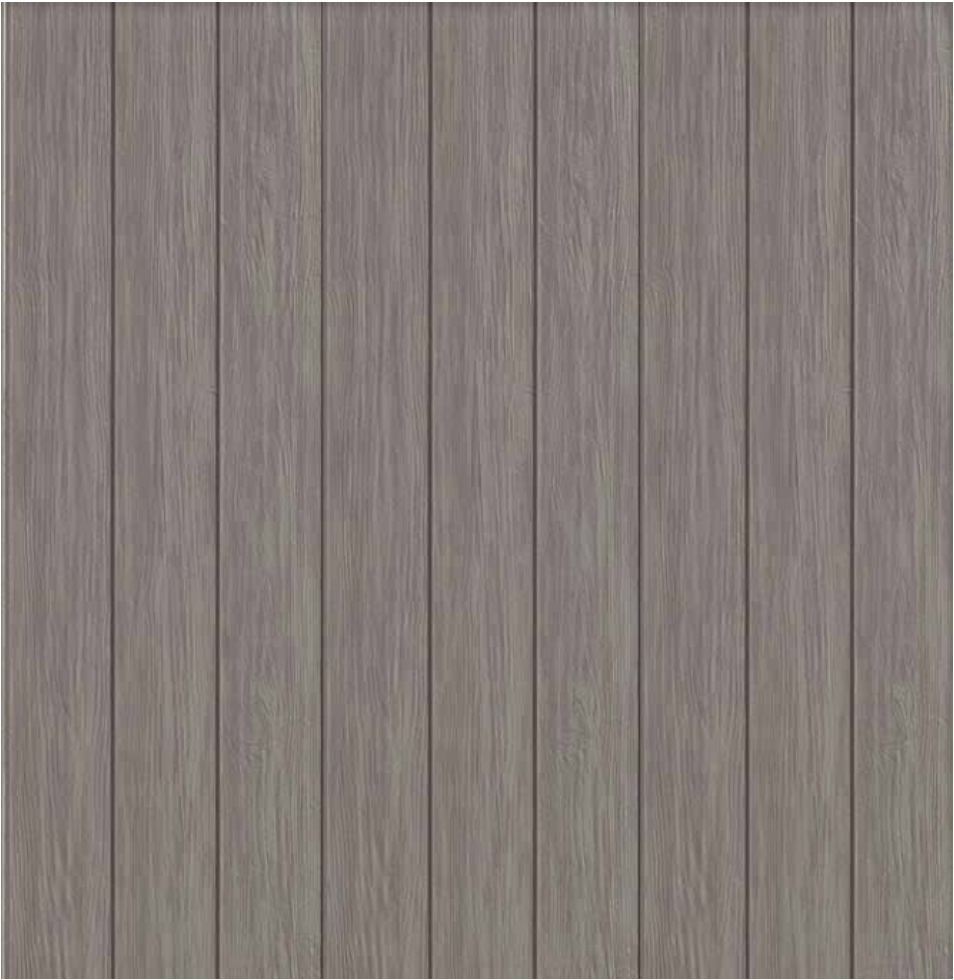
FACE BRICK - BRICK PIERS
- DARK GREY

FEN-3



FACE BRICK
- LIGHT GREY

FB-1



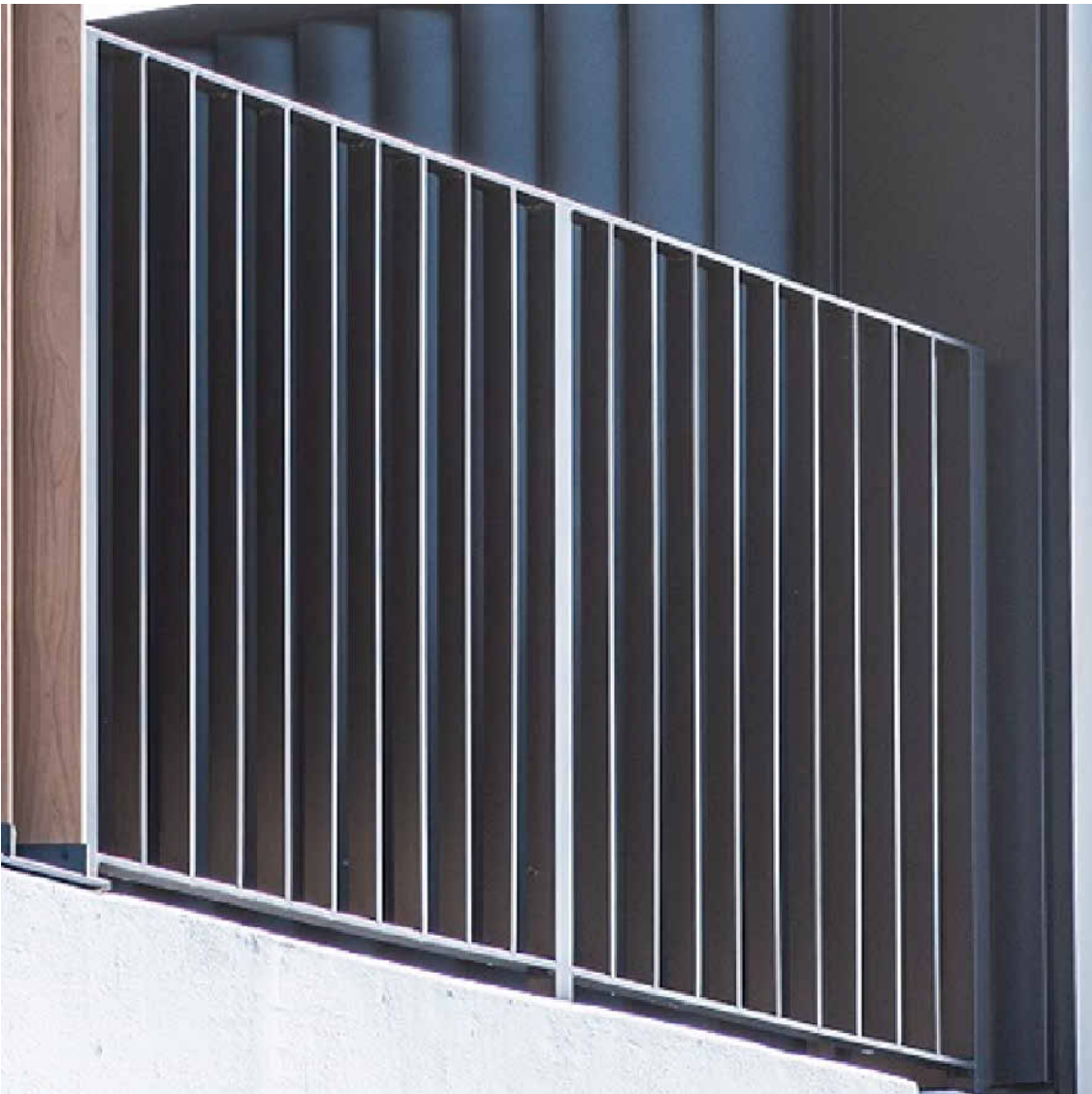
PREFINISHED FIBRE CEMENT CLADDING
- DARK GREY WITH WOODGRAIN

WC-1



SPLIT FACE BLOCKWORK
- DARK GREY
RETAINING WALLS, GARBAGE AREA

FEN-4



METAL BALUSTRADING
- DARK GREY

BAL-1



ALUMINIUM PRIVACY SCREENING
- WOOD-LOOK

LVR-1



NOMINATED ARCHITECT:		SIGNATURE:			
MICHAEL BULLEN					
	C	19/09/23	FOR REVIEW		
	B	03/07/23	FOR REVIEW		
	A	23/06/23	FOR REVIEW		
REV	DATE	NOTATION/AMENDMENT			
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ARCHITECT	
BREWSTER MURRAY PTY LTD	
BCA CONSULTANT	

CONSULTING ENGINEERS	
LANDSCAPE CONSULTANT	

CLIENT	HOMES NSW

PROJECT	RESIDENTIAL FLAT BUILDING AND MULTI DWELLING HOUSING DEVELOPMENT UNDER NSW HOUSING SEPP 2021
	64-70 STAPLETON AVENUE, CASINO 2470 LOTS 8, 9, 10, 11 IN DP31850

TITLE	MATERIALS & FINISHES
FILE	PLOTTED

STATUS				SKETCH DESIGN		PROJECT NO: BGZDY	
DATE	19/09/23	SCALE		PROJ	MB	DESIGNER	CHECKED
STAGE	A	SHEET SIZE	A1	AG			
TYPE		SHEET	DA14	REV			C